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By Post and Fax ()

4 October 2024

Toco Planning Consultants Ltd.

(Attn.: Ted CHAN)

Dear Sir/Madam,

Proposed Temporary Warehouse (Timber and Other Associated Materials) for a Period of 3 Years and Associated Filling of Land in “Agriculture” Zone, Lot 129 S.A (Part) in D.D. 86 and Various Lots in D.D. 90 and Adjoining Government Land, Lin Ma Hang Road, Sha Ling (Compliance with Approval Condition (b) for Planning Application No. A/NE-MKT/35)

I refer to your submission received by this office on 30.8.2024 for compliance with approval condition (b) in relation to the submission of a geotechnical planning review report before the commencement of any construction works or operation including site formation works within Portion B to the satisfaction of the Director of Civil Engineering and Development Department (CEDD) or of the Town Planning Board under the captioned planning application.

Head of the Geotechnical Engineering Office (GEO), CEDD (Contact person: Mr. K K CHAN; Tel.: 2762 5371) has been consulted and considered the approval condition (b) has been complied with. His advisory comments are attached at **Appendix I**.

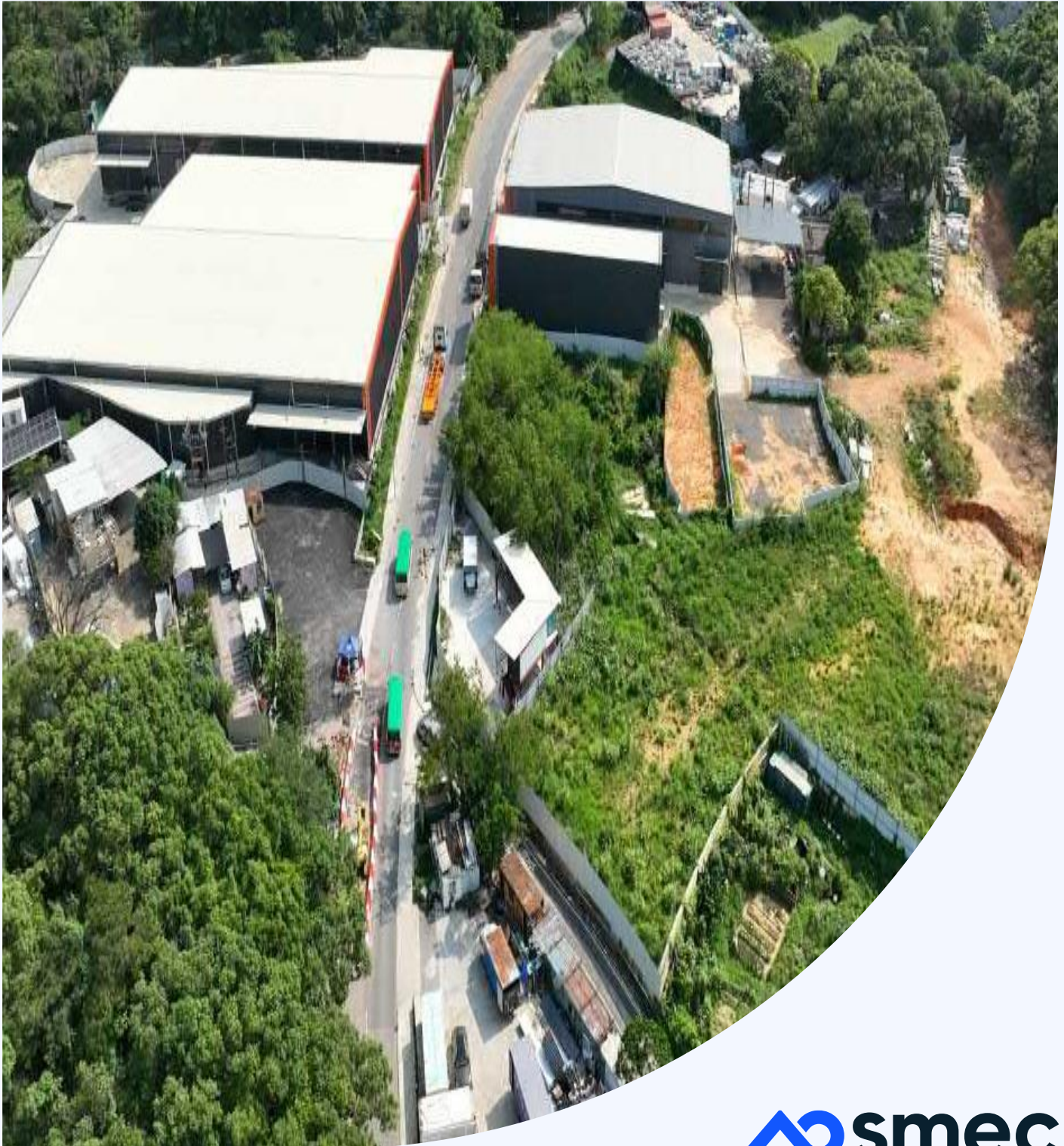
Should you have any queries related to planning matters, please feel free to contact Ms. Cheryl TSANG of this department at 2158 6229.

Yours faithfully,


(Rico TSANG)

for Director of Planning

Geotechnical Consultancy Services for Section 16 Application for Proposed Development of Temporary Warehouse at Various Lot in D.D 86 and D.D 90 and Adjoining Government Land, Lin Ma Hang Road, Sha Ling





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The report supersedes all previous draft or interim reports, whether written or presented orally, before the date of this report. This report has not and will not be updated for events or transactions occurring after the date of the report or any other matters which might have a material effect on its contents, or which come to light after the date of the report. SMEC is not obliged to inform you of any such event, transaction or matter nor to update the report for anything that occurs, or of which SMEC becomes aware, after the date of this report.

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Executive Summary

The Owner of Hong Kong & Kowloon Timber Merchants Association Ltd (HKTMA), which comprises various private lots in D.D. 86 and D.D. 90 and adjoining government land, has submitted a section 16 Planning Application for the proposed redevelopment, which involves construction of the warehouse to facilitate the storage of timber and other related construction materials, ancillary office, toilets, loading/unloading area and parking purpose. SMEC Asia Ltd. on behalf of HKTMA has undertaken a geotechnical review for the preparation of Geotechnical Planning Review (GPR) Report to support the proposed development and planning application.

From the geotechnical assessment, which is based on the available geological and geotechnical data, it is concluded that the proposed development at the subject Site is geotechnically feasible. Significant geotechnical hazards / constraints that may adversely affect the future redevelopment are not evident from the available geotechnical data.

1. Introduction

1.1 Background

- 1.1.1. The Hong Kong & Kowloon Timber Merchants Association Ltd (HKTMA) has submitted and approved by the Town Planning Board on 19 July 2024 a s.16 Planning Application for a redevelopment at Lin Ma Hang Road, Sha Ling. The redevelopment site (the Site) consists of a plan area of about 20,512.5 m². The proposed redevelopment involves construction of the warehouse to facilitate the storage of timber and other related construction materials, ancillary office, toilets, loading / unloading area, and parking purpose.
- 1.1.2. SMEC Asia Ltd (“SMEC”) has been commissioned to conduct this Geotechnical Planning Review Report (GPRR) to support the application for the proposed development.

1.2 Objectives of the Report

- 1.1.3. In accordance with the guidelines under GEO Advice Note for Planning Applications under Town Planning Ordinance (CAP. 131), a Geotechnical Planning Review Report (GPRR) is prepared in support of approval condition (b). The objectives of this Geotechnical Planning Review are summarized as follows:
- a. Identify any existing geotechnical features and / or natural terrain located within or in close proximity that may potentially affect or be affected by the Site / future development;
 - b. Carry out preliminary review on the stability of the features based on the available background / published information;
 - c. Assess the geotechnical feasibility of the proposed development; and
 - d. Recommend the need for further study based on the results of the preliminary assessments.

2. Site Description

2.1 General

- 2.1.1. The Site, which is located along Lin Ma Hang Road, Sha Ling, is divided into two portions bisected by Lin Ma Hang Road, the southeastern portion (along the eastbound of Lin Ma Hang Road) and the northwestern portion (along the westbound of Lin Ma Hang Road). The general location of the Site is shown in Figure 1.
- 2.1.2. The Site consists of an area of approximately 20,512.5m². The southeastern portion and part of the northwestern portion of the Site are generally hard paved, partially covered with trees along Lin Ma Hang Road. The site is gently sloping to flat lying at 14.5 to 15 mPD. The land uses in the surrounding areas are typically rural in nature, with temporary structures and some vacant land covered with vegetation growth. The layout plan of proposed development is shown in **Figure 2**.
- 2.1.3. There is a southeast facing man-made cut slope situated to the northwestern part of the Site. The man-made slope is approximately 3 m high, gently inclining at about 15°.
- 2.1.4. Topographical survey and lot boundary survey works were carried out by Victory Surveying Engineering in August 2024. The topographical survey plan is included in **Figure 3**.

3. Desk Study

3.1 General

- 3.1.1. A review of the available geological and geotechnical data for the Site area and its general vicinity has been carried out. Most of the relevant information was collated from GEO's web-based Geotechnical Information Infrastructure (GInfo). The available information includes published geological data, archived ground investigation (GI) data, Landslide Incident Record, and previous studies / assessments relating to the existing features. Some of the key findings are summarized below.

3.2 Published Geology

- 3.1.2. According to the Hong Kong Geological Survey (HKGS) Map Sheet 3 (scale 1:20,000) – Solid and Superficial Geology (1:20 000 map) (1995), the Site and its general vicinity are generally underlain by superficial deposits consisting of Fill overlying Alluvium and Colluvium, whereas the solid geology is predominated by undivided, metasandstone with metaconglomerate and phyllite. An extract of the published geological map showing the Site and its vicinity is produced in **Figure 4**.

3.3 Site Investigation

- 3.1.3. According to Ginfo's record, there is no existing borehole within or in the immediate vicinity of the Site. The nearest ground investigation (GI) was carried out by Geotechnics & Concrete Engineering (Hong Kong) Ltd in February 1994 at Man Kam To Food Control Office, which is located at a distance of about 80 m from the southwest of the Site. The borehole records (BH1 and BH2) revealed a geological profile comprising of FILL, Alluvium and completely decomposed Meta-Sandstone, which generally agree with the published geological information.

3.4 Reported Landslide Incidents

- 3.1.4. According to the GEO database, there is no recorded landslide incident reported within or in the vicinity of the Site.

4. Proposed Development

4.1 General

- 4.1.1. According to the latest outline development plan (**Appendix A**), the proposed development involves the construction of a single storey, 12 m high shelter structure for warehouse, car parking loading and unloading area. The future ground level will be formed at approximately +15.0mPD, which is generally in line with the existing ground level. As such, no major excavation or filling are anticipated.

4.2 Impact on Existing unregistered man-made Cut slope

- 4.1.2. There is an existing unregistered man-made slope located along the northwestern site boundary shown in **Figure 5**. The southeastern portion of the feature lies within the Site. According to the topographical survey, the unregistered man-made cut slope has a maximum height of about 3 m with a lateral extent of approximately 70 m and the average slope gradient is less than 15 degrees. According to criteria for Feature Registration in Appendix B of PNAP ADV-8 issued by Building Authorities, cut slopes, including any associated retaining walls, and retaining walls greater than 3 m shall be registered as a feature. Since the slope is not higher than 3 m, it is considered not necessary to register the existing man-made cut slope.
- 4.1.3. A typical section, Section A-A, across the Site was generated in **Figure 6** based on the topographical survey data as well as the published geological information to illustrate the general site setting and the geological profile of the Site.
- 4.1.4. Reference is made to Buildings Department APP-56 – Exemption Criteria for Site Formation Works associated with Exempted Building Works in the New Territories. All criteria as listed in Section 3 of APP-56, which are summarized in the Table below, should be complied with for applying the exemption of site formation works.

Table 4.1: Qualifying Criteria of Exemption for Site Formation Works

Item	Qualifying Criteria for Application	Verification of Site Conditions	Criteria Satisfied
(a)	The maximum gradient across the lot from boundary to boundary is not more than 15 degrees.	Based on the topographic survey, and site observation, the northwestern side of Site generally consists of a gently sloping ground varying from 14.50mPD to 15.00mPD. The maximum gradient across the proposed boundary is typically less than 15 degrees as presented from Figure 4 to Figure 6.	Yes
(b)	The overall gradient of an area bounded by lines 10m outside the lot boundary in any direction is less than 15 degrees.	From the topographical survey and site observation, the overall gradient of the unregistered man-made cut slope, which extends 10m outside the proposed boundary, is less than 15 degrees, as illustrated from Figure 4 to Figure 6.	Yes
(c)	There is no slope within the area 10m outside the lot boundary steeper than 30 degrees or higher than 1.5m.	From the topographical survey and site observation, there is no slope steeper than 30 degrees or higher than 1.5m identified within the area 10m outside the proposed boundary.	Yes
(d)	There is no retaining wall or terrace wall either within the lot or within the area 10m outside the lot which is higher than 1.5m.	Based on the topographic survey and site reconnaissance, there is no retaining wall within the Site or within the area 10 m outside the Site which is higher than 1.5m, as illustrated from Figure 4 to Figure 6.	Yes

- 4.1.5. Based on the above assessment, it is considered that the site meets the criteria for exemption from site formation works. The proposed development of the in 12m high warehouse, will generally involve the construction of shallow foundations of about 1.2 m deep. To facilitate the development of the proposed warehouse near the toe of the existing slope, a retaining wall, less than 1.5m high, is proposed to be constructed at about 2 m from the site boundary. The proposed final formation level is approximately 15mPD. As such, no extensive excavation or filling is anticipated.

5. Conclusions and Recommendations

- 5.1.1. From the above geotechnical assessment, which is based on the available geological and geotechnical data, it is concluded that the proposed development at the Site is geotechnically feasible. Significant geotechnical hazards / constraints that may adversely affect the future redevelopment are not evident from the available geotechnical data.
- 5.1.2. It is recommended that site formation works could be exempted as the Site satisfies all the criteria as listed in APP-56 – Exemption Criteria for Site Formation Works associated with Exempted building works in New Territories. For the unregistered man-made slope, it has a maximum height of about 3 m and the average slope gradient is less than 15 degrees, registration for this slope is considered not required. The slope is relatively minor in scale and is very gently inclined at about 15°, and hence upgrading works is considered not necessary. In addition, under the proposed development, a new retaining wall of less than 1.5m height will be constructed at 2 m from the site boundary line to retain the level difference between the slope and the Site.
- 5.1.3. A comprehensive instrumentation and monitoring should also be prepared during the construction stage to closely monitor the construction impact on the adjacent structures, roads and utilities.

Figure

Appendices

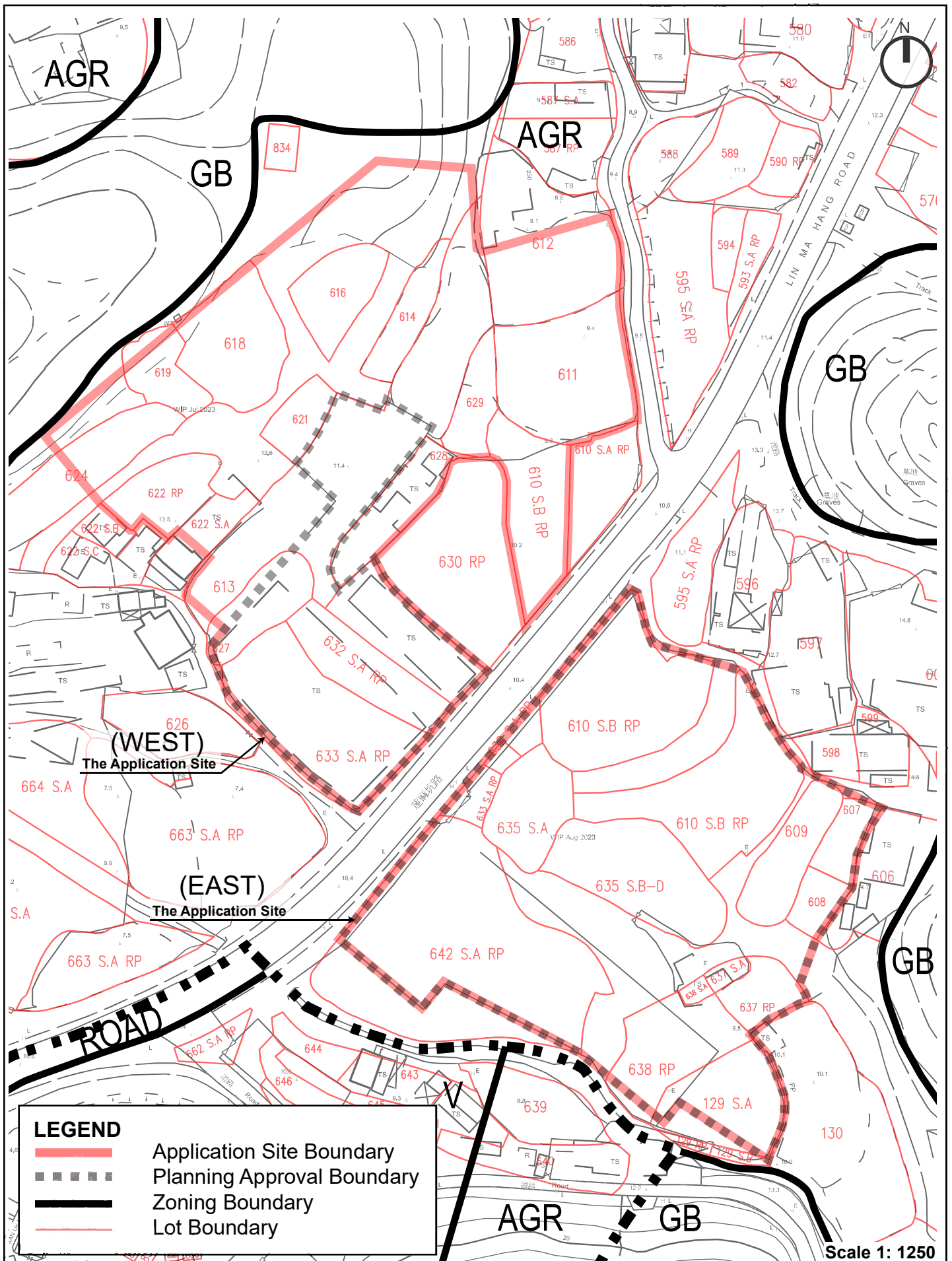
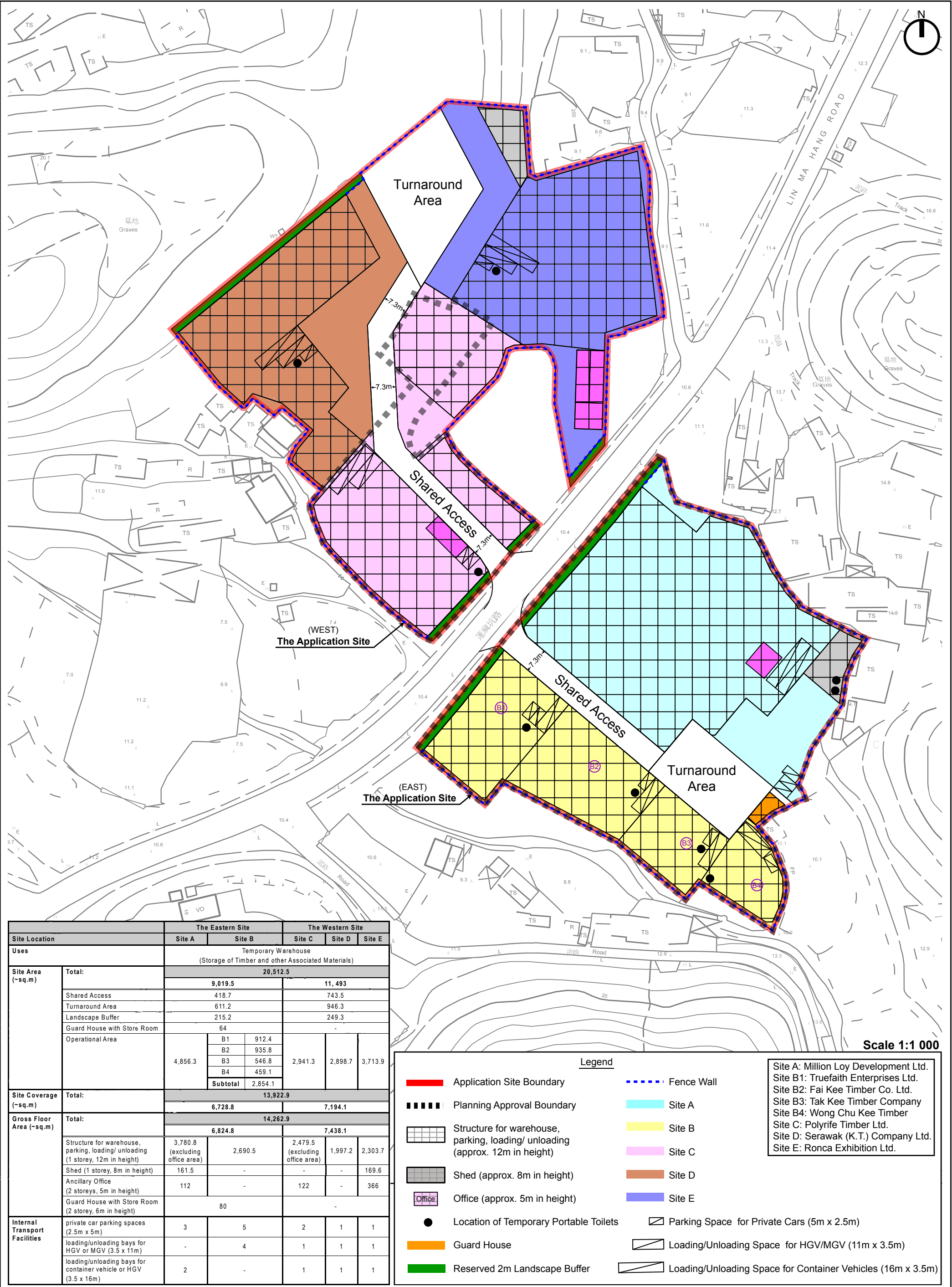


Figure 1 - Zoning and Location Plan for the Application Site



		The Eastern Site		The Western Site		
Site Location		Site A	Site B	Site C	Site D	Site E
Uses		Temporary Warehouse (Storage of Timber and other Associated Materials)				
Site Area (~sq.m)	Total:	20,512.5				
	Shared Access	9,019.5		11,493		
	Turnaround Area	418.7		743.5		
	Landscape Buffer	611.2		946.3		
	Guard House with Store Room	215.2		249.3		
	Operational Area	64		-		
		4,856.3		3,713.9		
Site Coverage (~sq.m)		B1 912.4		2,941.3		
		B2 935.8		2,898.7		
		B3 546.8		-		
		B4 459.1		-		
		Subtotal 2,854.1		-		
Total:		6,728.8		7,194.1		
Gross Floor Area (~sq.m)		6,824.8		7,438.1		
	Structure for warehouse, parking, loading/ unloading (1 storey, 12m in height)	3,780.8 (excluding office area)	2,690.5	2,479.5 (excluding office area)	1,997.2	2,303.7
	Shed (1 storey, 8m in height)	161.5	-	-	-	169.6
	Ancillary Office (2 storeys, 5m in height)	112	-	122	-	366
	Guard House with Store Room (2 storey, 6m in height)	80		-		
	private car parking spaces (2.5m x 5m)	3	5	2	1	1
Internal Transport Facilities	loading/unloading bays for HGV or MGW (3.5 x 11m)	-	4	1	1	1
	loading/unloading bays for container vehicle or HGV (3.5 x 16m)	2	-	1	1	1

Legend

Application Site Boundary

Planning Approval Boundary

Structure for warehouse, parking, loading/ unloading (approx. 12m in height)

Shed (approx. 8m in height)

Office (approx. 5m in height)

Location of Temporary Portable Toilets

Guard House

Reserved 2m Landscape Buffer

Fence Wall

Site A

Site B

Site C

Site D

Site E

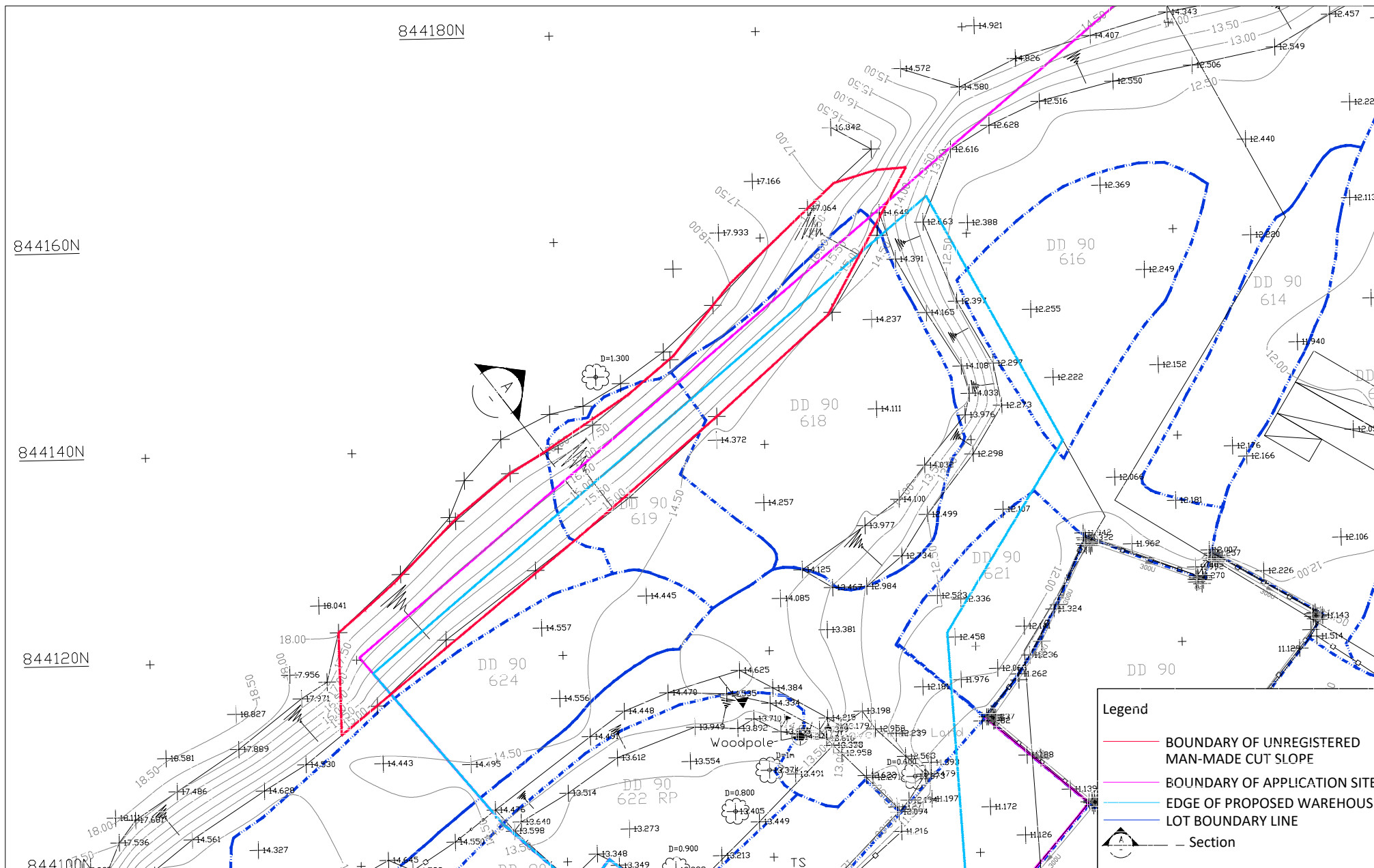
Parking Space for Private Cars (5m x 2.5m)

Loading/Unloading Space for HGV/MGV (11m x 3.5m)

Loading/Unloading Space for Container Vehicles (16m x 3.5m)

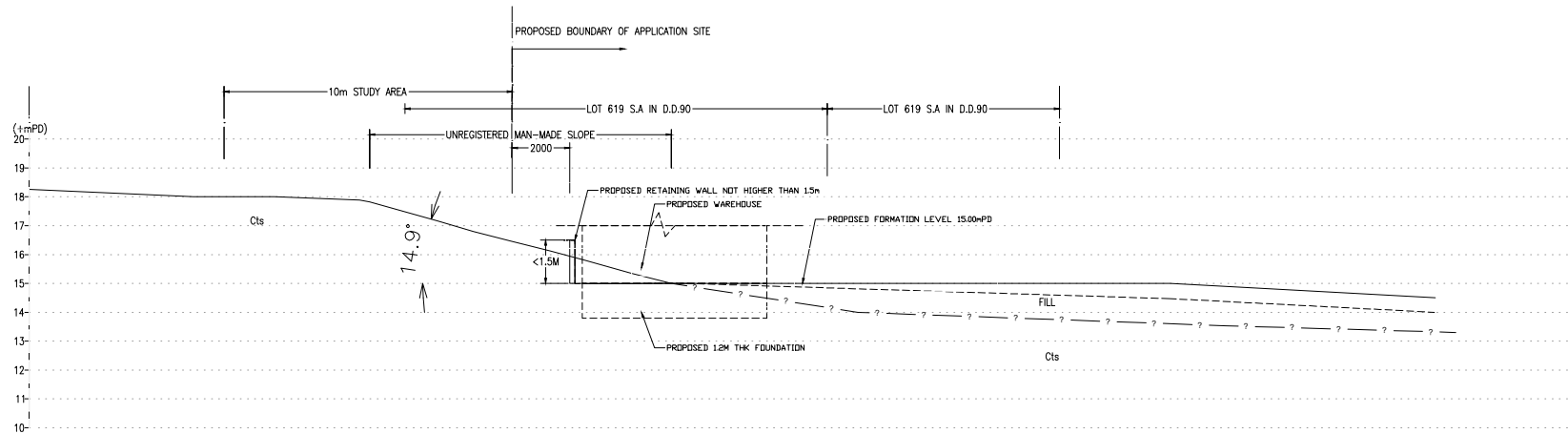
Site A: Million Loy Development Ltd.
Site B1: Truefaith Enterprises Ltd.
Site B2: Fai Kee Timber Co. Ltd.
Site B3: Tak Kee Timber Company
Site B4: Wong Chu Kee Timber
Site C: Polyrite Timber Ltd.
Site D: Serawak (K.T.) Company Ltd.
Site E: Ronca Exhibition Ltd.

Figure 2 - Layout Plan of Proposed Development



PROPOSED TEMPORARY WAREHOUSE (TIMBER AND OTHER ASSOCIATED MATERIALS) AT LIN
MA HAND ROAD, SHA LING, NEW TERRITORIES
LAYOUT PLAN OF UNREGISTERED MAN-MADE SLOPE

SCALE	A4 1:500	DATE	AUG 2024
CHECK	EH	DRAWN	KHN
JOB NO.	7076997	FIGURE 5	REV. -



SECTION A-A
SCALE 1 : 250

Legend

—	PROPOSED FORMATION PROFILE
— — —	EXISTING GROUND PROFILE
— ? —	INFERRED MATERIAL PROFILE
FILL	FILL
Cts	METASANDSTONE WITH META CONGLOMERATE AND PHYLLITE

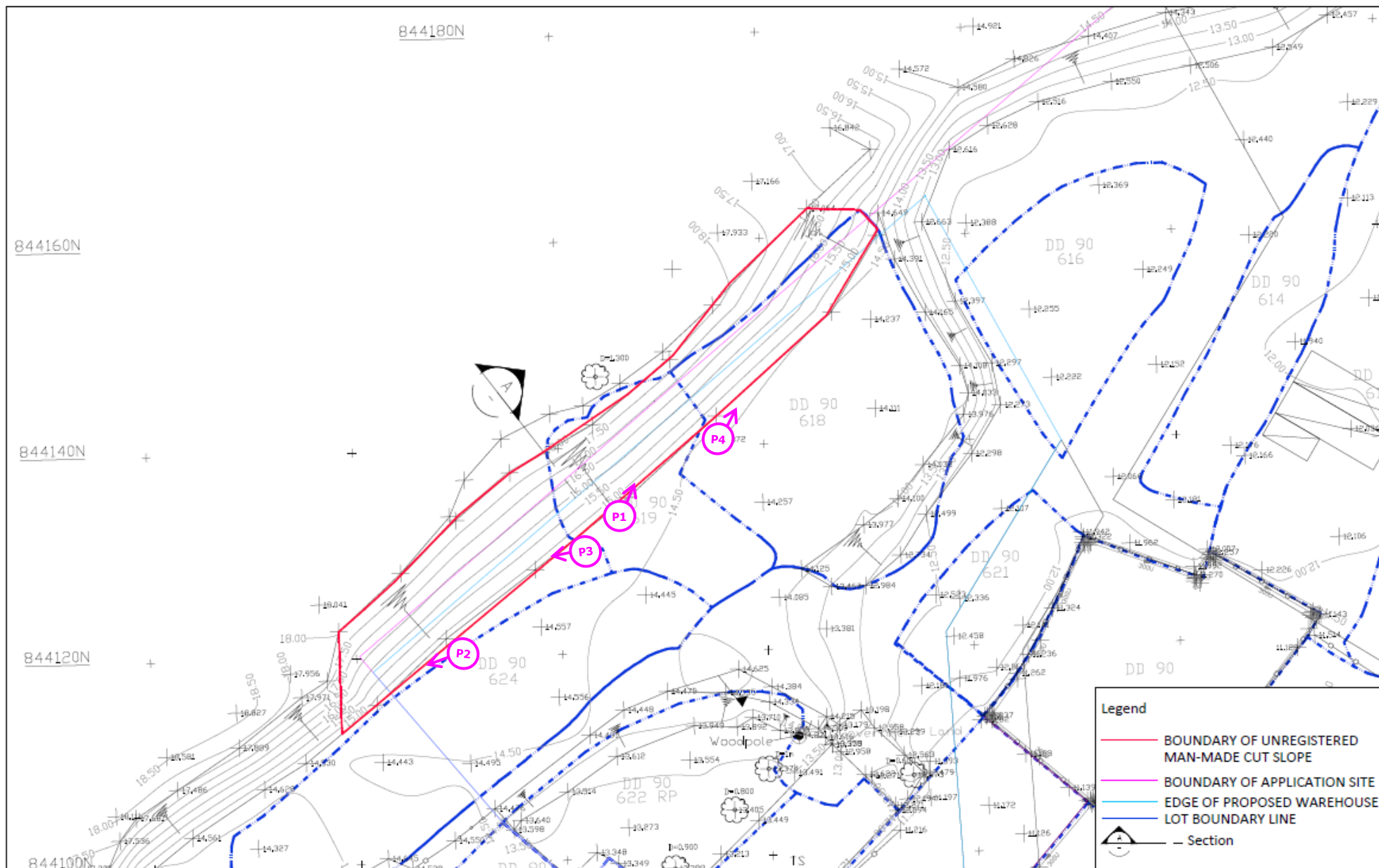


PROPOSED TEMPORARY WAREHOUSE (TIMBER AND OTHER ASSOCIATED MATERIALS) AT LIN
MA HAND ROAD, SHA LING, NEW TERRITORIES

Geological Sections A-A

SCALE	AS SHOWN@A4	DATE	AUG 2024
CHECK	EH	DRAWN	KHN
JOB NO.	7076997	Figure 6	REV. -

Appendix A Photographs of Unregistered Man-Made Cut Slope



PROPOSED TEMPORARY WAREHOUSE (TIMBER AND OTHER ASSOCIATED MATERIALS) AT LIN
MA HAND ROAD, SHA LING, NEW TERRITORIES
LAYOUT PLAN OF UNREGISTERED MAN-MADE SLOPE Photo Taken Plan

SCALE	A4 1:500	DATE	AUG 2024
CHECK	EH	DRAWN	KHN
JOB NO.	7076997		REV. -

Plate 1

General view at northeast portion of man-made cut slope (Facing southeast)



Plate 2

General view at southwest portion of man-made cut slope (Facing southeast)



Plate 3

General view at southwest portion of man-made cut slope (Facing southeast)



Plate 4

General view at northeast portion of man-made cut slope (Facing southeast)





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傳真機號碼 Fax No. : 2691 2806

By Post and Fax ()

2 January 2025

Toco Planning Consultants Ltd.

(Attn.: Ted Chan)

Dear Sir/Madam,

Proposed Temporary Warehouse (Timber and Other Associated Materials) for a Period of 3 Years and Associated Filling of Land in “Agriculture” Zone, Lot 129 S.A (Part) in D.D. 86 and Various Lots in D.D. 90 and Adjoining Government Land, Lin Ma Hang Road, Sha Ling (Compliance with Approval Condition (c) for Planning Application No. A/NE-MKT/35)

I refer to your submission dated 6.12.2024 for compliance with approval condition (c) in relation to the implementation of necessary remedial works identified in the accepted geotechnical planning review report before the commencement of any construction works or operation including site formation works within Portion B to the satisfaction of the Director of Civil Engineering and Development Department (CEDD) or of the Town Planning Board under the captioned planning application.

The Head of the Geotechnical Engineering Office, CEDD (Contact person: Mr. K K CHAN; Tel.: 2762 5371) has been consulted and considered the approval condition (c) has been complied with. His advisory comments are attached at **Appendix I**.

Should you have any queries related to planning matters, please feel free to contact Ms. Cheryl TSANG of this department at 2158 6229.

Yours faithfully,

(Rico TSANG)

for Director of Planning



The Secretary,
Town Planning Board
15/F, North Point Government Offices
333 Java Road,
North Point, Hong Kong

Tel: [REDACTED]
Fax: [REDACTED]
E-mail: [REDACTED]
Website: <http://www.tocoplanning.com>

Your Ref.: TPB/A/NE-MKT/35

Attn.: Ms. Leticia LEUNG

Dear Madam,

6 December, 2024

**Section 16 Planning Application for Proposed Temporary Rural Workshop
(Timber Yard and Sawmill) for a Period of 3 Years at Various Lots in D.D. 86 and
D.D. 90 and Adjoining Government Land, Lin Ma Hang Road, Sha Ling**

We refer to the approval letter from the Town Planning Board dated 2.8.2024.

In response to approval condition (c) in relation to the implementation of necessary remedial works identified therein before the commencement of any construction works or operation including site formation works, please be advised that no remedial works were identified in the Geotechnical Planning Review Report (GPRR) approved by relevant Government departments via Sha Tin, Tai Po and North District Planning Office's letter dated 4.10.2024.

In view of the above, we consider that the approval condition (c) has been fulfilled. Should you have any queries in relation to the GPRR, please contact our Geotechnical Consultant (SMEC Asia Limited - Mr. NG Ka Ho) at [REDACTED] direct.

Yours faithfully,

Toco Planning Consultants Ltd.

Ted Chan
Managing Director



cc Client
DPO/STN (Attn. Ms. Cheryl Tsang)